

**WILLMAR PLANNING COMMISSION
CITY OF WILLMAR, MN
WEDNESDAY, SEPTEMBER 24, 2014**

MINUTES

1. The Willmar Planning Commission met on Wednesday, September 24, 2014, at 7:00 p.m. at the Willmar City Offices Conference Room #2.

** Members Present: Mark Klema, Andrew Engan, Margaret Fleck, Gary Geiger, Sandy Bebler, Bob Poe, and Aaron Larson.

**Members Absent: Randy Czarnetzki, Scott Thaden.

** Others Present: Megan DeSchepper- Planner.

2. MINUTES: The minutes of the August 27, 2014 meeting were approved as submitted.

3. CAMBRIDGE THIRD ADDITION FINAL PLAT- FILE NO. 14-03: Staff presented the final plat of a six lot twin home development on property legally described as follows: Lot 6, 7, 8, 9, 10, 11, 12, 13, and 14 of Block 1, Terraplane Estates less the west 6' of said Lot 6 (2400 block of 3rd Ave. SE). The property is zoned R-4 Medium Density Multiple Family Residential. The development will consist of twin home rentals with six buildings and a total of 12 units. The private development shall be covered by private covenants and declarations for the private street. The developer shall have separate water and sewer shut off for each unit. And assessments shall be paid in full or apportioned.

Staff comments were reviewed and discussed (see Attachment A).

Mr. Poe made a motion, seconded by Mr. Larson, to approve the final plat with the following conditions:

- A. Each unit shall have separate water and sewer shut off valves and connections.
- B. Assessments shall either be paid in full or reapportioned prior to final plat signatures.
- C. Declarations and covenants shall be submitted for review and approval by the City prior to final plat recording and recorded congruous to the final plat for tracking to cover common areas, access, and utilities for the private development.
- D. Parking shall be limited to one side on the private street and shall be signed accordingly by the developer.

The motion carried.

4. MCROC BUILDING-CITY ACQUISITION: Staff presented a request for property acceptance of the MCROC Building as the City is a partner in the grant that funded the project and is needed to formally accept the property and be the steward. The U of M has a long term lease and MinnWest Technology Campus will continue to handle the management of the property.

The Planning Commission discussed the project and what a good fit it is in the Technology District and on the MinnWest Campus.

Ms. Bebler made a motion, seconded by Mr. Engan, to recommend acquisition of the building as was anticipated with the grant.

The motion carried.

5. POSSIBLE ORDINANCE TEXT AMENDMENT DISCUSSION-KENNELS: Staff discussed a scenario that came up regarding dog kenneling. Kennels are permitted in the Industrial Districts, but not in the GB (General Business) district. There was an inquiry from a dog groomer wondering if she could do indoor kenneling of animals at her business in the GB District. Staff considered the matter could best be handled with a text amendment perhaps with a conditional use permit to allow the Commission to attach conditions as necessary.

The Planning Commission talked about the matter and that many of the GB zoned properties abut residential uses and that a kennel, even indoor kenneling would require outdoor exercising etc. to occur.

The Commission was of the opinion that the text amendment wouldn't be something they were comfortable with and wouldn't recommend anyone applying for such a change.

6. BETHESDA EASEMENT RELEASE DISCUSSION: Staff explained that during the closing on the Bethesda properties their Attorney noted that some of the private easement documents from the 90's had also been signed by the City due to some City utilities that went through the property. They will be covered by the new easements, but in order to cover said utilities etc. Bethesda needs the City's permission and sign-off on the new documents.

Mr. Geiger, made a motion, seconded by Mr. Engan, to recommend the City Council sign off on the new easement documents as the City's utilities are covered by easements and the rest of the easements are private between Bethesda parcels.

The motion carried.

7. There being no further business to come before the Commission, the meeting adjourned at 7:31 p.m.

Respectfully submitted,



Megan M. DeSchepper, AICP
Planner/Airport Manager

PLANNING COMMISSION-SEPTEMBER 24, 2014

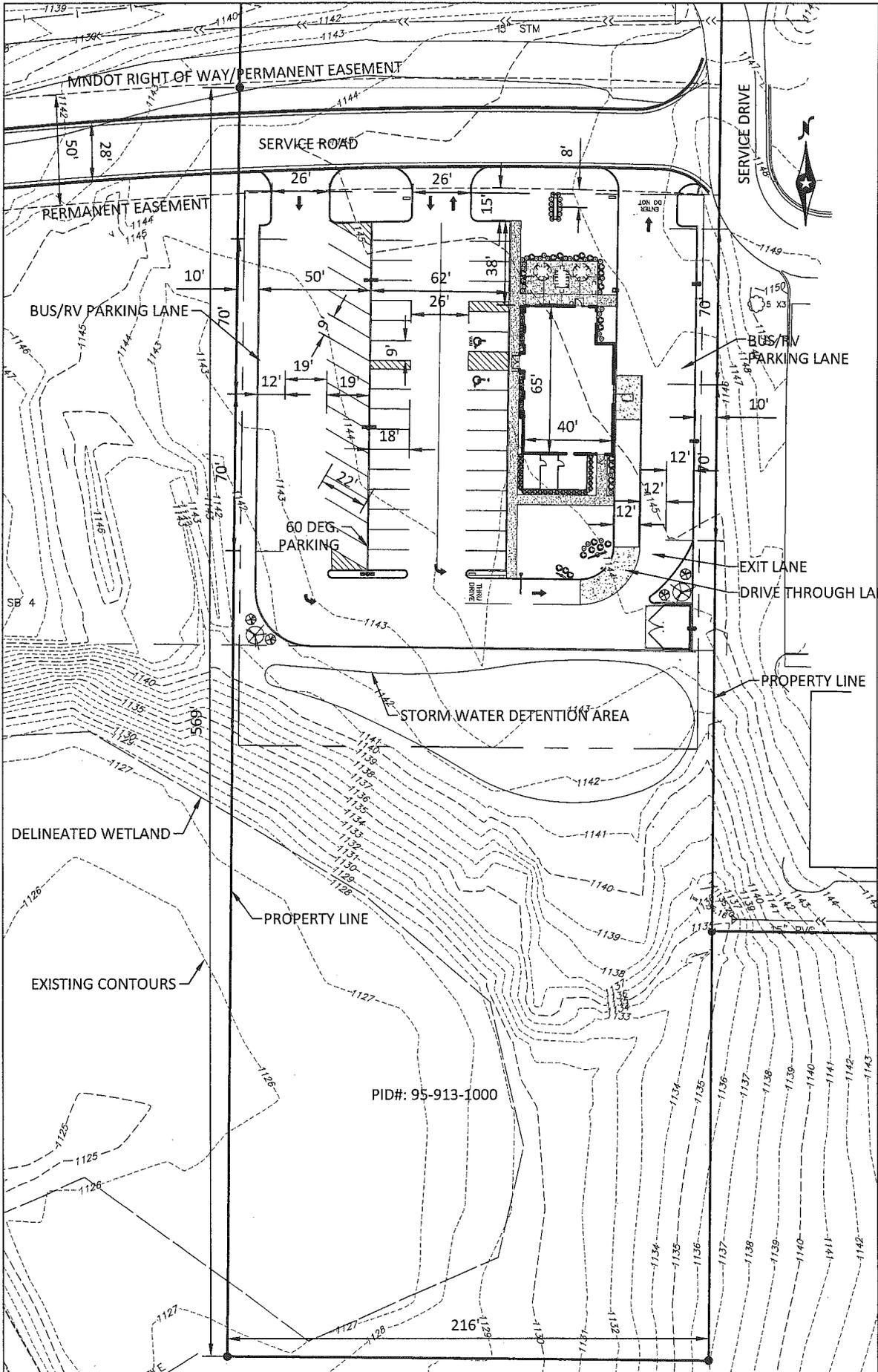
STAFF COMMENTS

1. CAMBRIDGE THIRD ADDITION FINAL PLAT- FILE NO. 14-03:

- The applicant is RAK Construction, LLC, Willmar, MN.
- The applicant proposes a six lot replat for twin home development on property legally described as follows: Lots 6, 7, 8, 9, 10, 11, 12, 13, and 14 of Block 1, Terraplane Estates less the west 6' of said Lot 6 (2400 block of 3rd Ave. SE).
- The property is zoned R-4 Medium Density Multiple Family Residential.
- The property is accessed via 3rd Ave. SE an already existing private road (Outlot A).
- Architectural style is similar to the four-plexes to the west and will fit in with the neighborhood.
- The development will consist of twin homes that will be rental properties, 6 total buildings with 12 total units.
- As the property is private with a private street, utilities etc., covenants and declarations are required to ensure common areas and access is protected and shared.
- Outlot E shall be included on the declarations/covenants as that is how Lot 1 is accessed.
- There are assessments on the property that shall either be paid in full or reapportioned prior to final plat recording.
- MUC requires separate water and sewer connections be made for each unit so they can be shut off separately from the adjoining unit in the future should the need arise.

RECOMMENDATION: Approve the final plat with the following conditions:

- A. Each unit shall have separate water and sewer shut off valves and connections.
- B. Assessments shall either be paid in full or reapportioned prior to final plat signatures.
- C. Declarations and covenants shall be submitted for review and approval by the City prior to final plat recording and recorded congruous to the final plat for tracking to cover common areas, access, and utilities for the private development.
- D. Parking shall be limited to one side on the private street and shall be signed accordingly by the developer.



DESIGN INTENT

MAIN STREET
TOWN SQUARE
ANY TOWN, USA.



AMERICAN DAIRY QUEEN
MINNEAPOLIS, MN U.S.A.

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AMERICAN DAIRY QUEEN CORPORATION.
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AMERICAN DAIRY QUEEN, INC. (A/Q) AND
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WITHOUT ADD. CONSENT.

BUILDING TYPE:
DAIRY QUEEN GRILL & CHILL
CORE T2

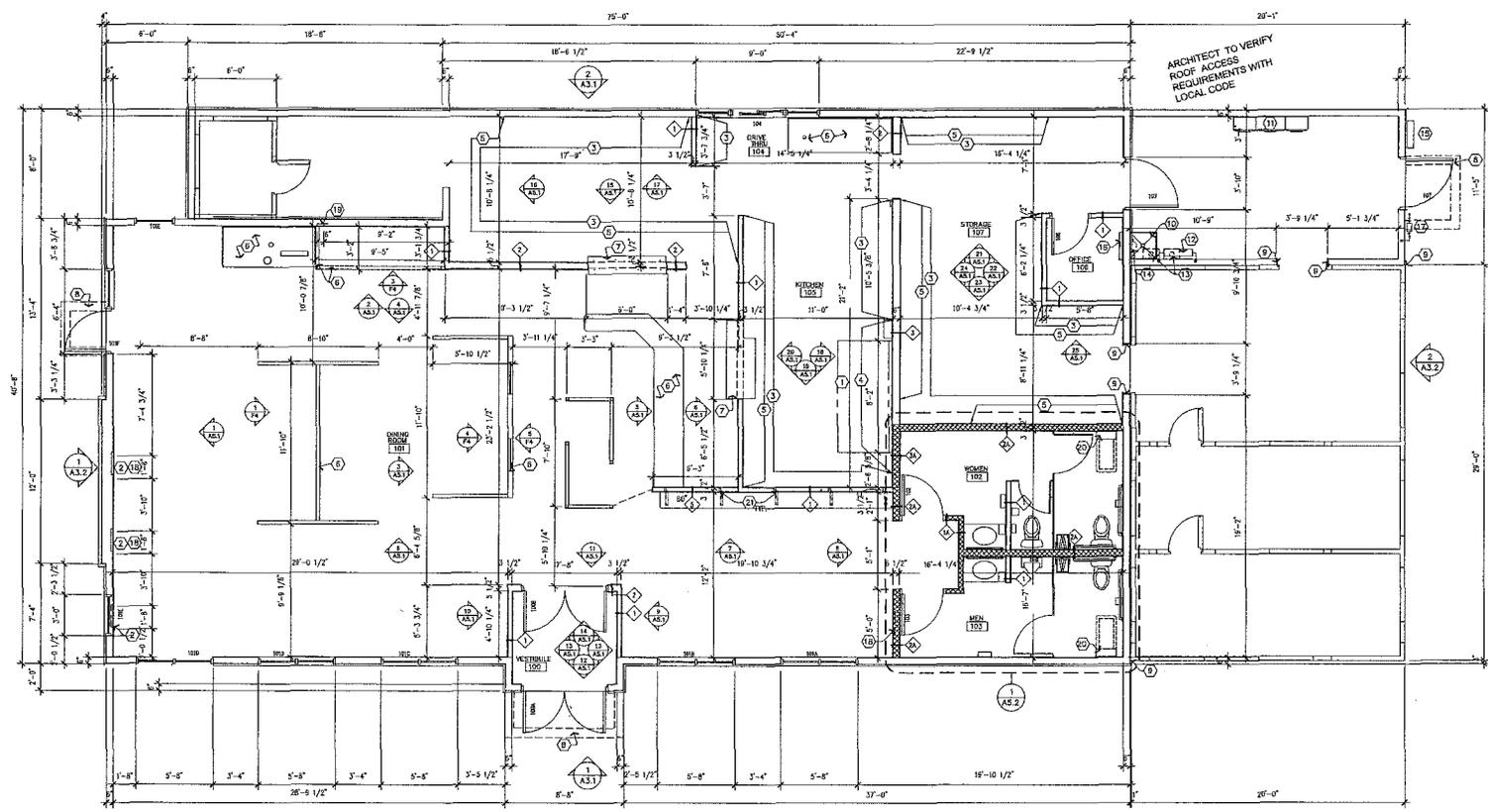
DRAWN, CHECKED, & APPROVED BY: ADD
DESIGN-ARCHITECTURE-CONSTRUCTION
(OAC) CORPORATION

THIS IS "PLAN" NORTH
FOR ACTUAL BUILDING
ORIENTATION REFER TO
SITE PLAN (BY OTHERS)

ISSUE DATE: 4-1-2014
REVISION DATE:
2-28-2014 PLAN REVISION BULLETIN #1
4-28-2014 PLAN REVISION BULLETIN #2
8-5-2014 PLAN REVISION BULLETIN #3

FLOOR PLAN

SHEET NUMBER:
A2.1



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- UNLESS NOTED OTHERWISE, ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATING.
- UNLESS NOTED OTHERWISE, ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- REFER TO DRAWINGS AND SPECIFICATIONS PREPARED BY EQUIPMENT SUPPLIERS AND MANUFACTURER SUPPLIER FOR THESE UNITS. REQUIREMENTS, ALL MATERIALS ARE TO BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

FLOOR PLAN NOTES

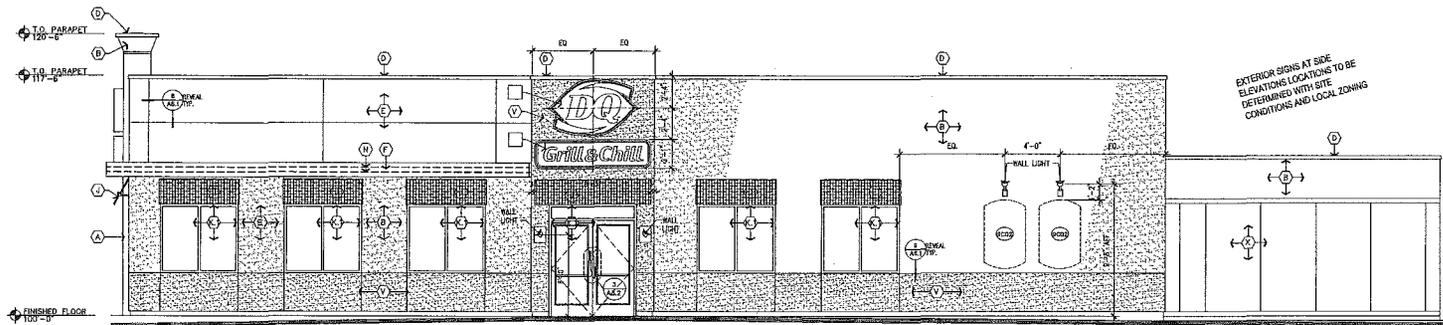
- GENERAL CONTRACTOR SHALL PROVIDE AT HOOD: INSTALLATION OF (PROVIDED BY TENANT / OWNER) EXHAUST HOOD BY INTERIOR FILLER PANEL. SEE SHEET M4 & M5 FOR ADDITIONAL INFORMATION AND DETAIL. THE GENERAL CONTRACTOR SHALL SUPPLY AND INSTALL, AT HOOD A STAINLESS STEEL WALL PANEL FROM THE BASE TO BOTTOM OF EXHAUST HOOD.
- GENERAL CONTRACTOR TO PROVIDE AND INSTALL 2x8 HORIZONTAL WOOD BLOCKING (LET IN) TO STUDS BEHIND CIP. BS. CENTER OF BLOCKING TO BE AT 10" AFF AND 20" AFF. MIN. LENGTH OF BLOCKING AS NOTED, END OF BLOCKING MUST LAND ON STUD.
- PROVIDE 5/8" INTERIOR SAWNED PLYWOOD IN LIEU OF GYPSUM WALL BOARD.
- PROVIDE 5/8" CEMENT BOARD IN LIEU OF GYPSUM WALL BOARD.
- PROVIDE 1x2 BLOCKING AT WALL SHELVES COORDINATE EXISTING METAL EQUIPMENT PLAN, SEE DETAIL 6/A1.2.
- COUNTERS AND DECOR WALLS ARE PART OF COUNTER WALLWORK Pkg. SEE "T" SHEETS FOR PLAN, ELEVATION AND DETAILS.
- C.C. TO COORDINATE FRAMED OPENING WITH WALL FINISHES AND DOWNSIDE SHELF SIZE.
- DOAC STAIR, SEE STRUCTURAL.
- GENERAL CONTRACTOR TO PROVIDE SEALED TRIM FROM DOORER BOX TO SIDE WALL. VERIFY SEALING REQUIREMENTS FOR LOCAL CODE. SEE TRIM (DOORER 1" FROM WALLS - REFER TO 6/A1.1)

- MSP SINK, SEE DETAIL 7/A1.2
- ELECTRICAL PANELS: SEE ELEC DWGS - VERIFY W/MANUFACTURER DETAIL REQUIREMENTS
- WATER METER LOCATION, SEE PLUMBING SHEETS
- WATER HEATER, SEE PLUMBING DWGS
- WATER FILTER SYSTEM
- ELECTRICAL DISCONNECT AND METER SCKET.
- PHONE BOARD
- GAS METER
- REMOVE WOOD BLOCKING, AS REQUIRED, BEHIND CIP. BS. FOR WALL MOUNTED TELEVISION
- PROVIDE FULL HEIGHT WOOD BLOCKING BEHIND CIP. BS. FOR CAKE RACKS
- C.C. TO VERIFY AND PROVIDE BLOCKING PER MANUFACTURERS REQUIREMENTS
- C.C. TO PROVIDE FLUSH MOUNTED STEEL COUNTER SUPPORT BRACKETS. COORDINATE EXIST AND SPACING WITH COUNTER SUPPLIER

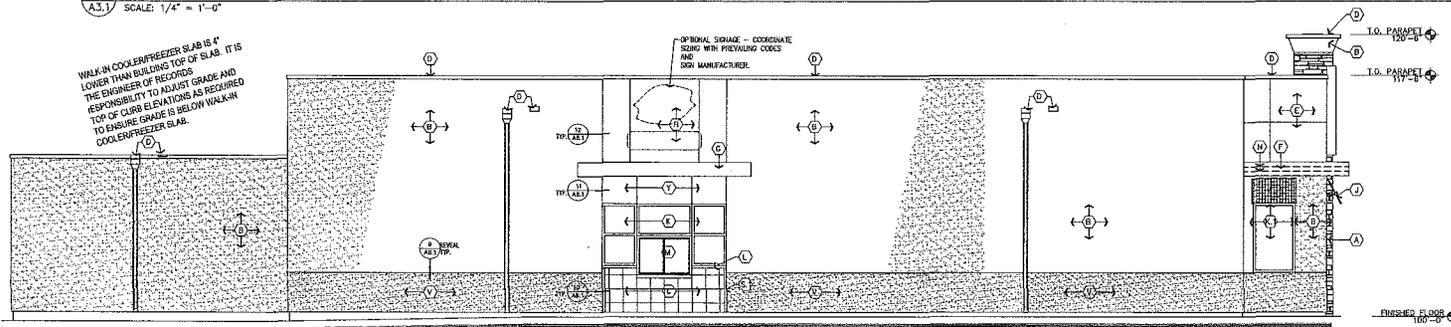
PARTITION TYPES

- 2x4 WOOD FRAMING @ 16" O.C. EXTEND TO ROOF STRUCTURE.
- 2x4 WOOD FRAMING @ 16" O.C. PROVIDE FULL THICKNESS & FULL HEIGHT SOUND BATT INSULATION EXTEND TO ROOF STRUCTURE.
- 2x6 WOOD FRAMING @ 16" O.C. EXTEND TO ROOF STRUCTURE.
- 2x8 WOOD FRAMING @ 16" O.C. PROVIDE FULL THICKNESS & FULL HEIGHT SOUND BATT INSULATION EXTEND TO ROOF STRUCTURE.
- 6" MIL FRAMING @ 16" O.C. EXTEND TO ROOF STRUCTURE.
- 6" MIL FRAMING @ 16" O.C. PROVIDE FULL THICKNESS & FULL HEIGHT SOUND BATT INSULATION EXTEND TO ROOF STRUCTURE.
- 3 5/8" MIL FRAMING @ 16" O.C. EXTEND TO ROOF STRUCTURE.
- 3 5/8" MIL FRAMING @ 16" O.C. PROVIDE FULL THICKNESS & FULL HEIGHT SOUND BATT INSULATION EXTEND TO ROOF STRUCTURE.
- 2x4 WOOD FRAMING @ 16" O.C. PARTIAL HEIGHT WALL SEE PLAN FOR HEIGHT

GENERAL NOTES:
1. PROVIDE 5/8" CIP. BS. ON ALL WALL SURFACES UNLESS NOTED OTHERWISE.
2. PROVIDE MOISTURE RESISTANT CIP. BS. AT WET WALL LOCATIONS.
3. ALL INTERIOR WALL SHEATHING (CIP, GO. OR PLYWOOD) TO EXTEND 3" ABOVE CEILING.



1 ENTRANCE ELEVATION
A3.1 SCALE: 1/4" = 1'-0"



2 DRIVE-THRU ELEVATION
A3.1 SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION KEYNOTES: (GRILL & CHILL)

<p>1 STONE: TYPE: CALLED STONE STYLE: COUNTRY LEISURE STONE - WET STACK COLOR: CHARMONNAY DOOR SUPPLIER: BORNAL STONE GRADE: GREY</p> <p>2 BRICK: TYPE: STO CORPORATION COLOR: NAL-024 (MATCHES BENJAMIN MOORE SANDY BROWN #104) FINISH: 3/8" S/D MEDIUM SAND VENDOR: STO CORPORATION NOTE: PROVIDE HIGH IMPACT LIPS FROM GRADE TO 3'-0" A.F.F.</p> <p>3 CERAMIC TILE: TYPE: MARAZZI COLOR: CHRYSTALS RED LUSTER SIZE: 12"x12" GRADE: "VANOCIT" GROUT COLOR: ALMOND BS SUPPLIER: L&L NOTE: MUST BE INSTALLED PER THE COUNCIL OF NORTH AMERICA "VAN-19" AND AWA "A181-C"</p> <p>4 DOOR & SPOONER: TYPE: UNI-CLAD MATERIAL: 24 GA. STEEL COLOR: ALMOND FINISH: KNAR 500</p> <p>5 METAL PANEL: TYPE: ALUMINUM STYLE: 304 COLOR: 90 RED NOTE: MUST BE INSTALLED HORIZONTALLY. REFERENCE ARROWS ON BACK OF PANEL. MUST BE ALIGNED IN THE SAME DIRECTION. VENDOR: NO LOOK EXTERIORS</p>	<p>6 METAL EXTERIOR & FLASHING: TYPE: UNI-CLAD STYLE: 304 ALUMINUM COLOR: WHITE BLACK FROM: KNAR 500 VENDOR: NO LOOK EXTERIORS</p> <p>7 METAL CANOPY & FLASHING: TYPE: UNI-CLAD STYLE: 304 ALUMINUM COLOR: CLEAR ANODIZED SATIN VENDOR: NO LOOK EXTERIORS</p> <p>8 METAL PANEL: TYPE: ALUMINUM MATERIAL: 304 COLOR: 90 BLUE VENDOR: NO LOOK EXTERIORS</p> <p>9 METAL PANEL: TYPE: UNI-CLAD STYLE: 304 ALUMINUM COLOR: CLEAR ANODIZED SATIN VENDOR: NO LOOK EXTERIORS</p> <p>10 METAL PANEL: TYPE: UNI-CLAD STYLE: 304 ALUMINUM COLOR: CLEAR ANODIZED SATIN VENDOR: NO LOOK EXTERIORS</p>	<p>11 STATIONARY: TYPE: 100' AP AMERICA INC. STYLE: 2'x4' 1/2" FINISH: CLEAR SATIN ANODIZED ALUMINUM GLAZING: CLEAR, 1" INSULATED, LOW E</p> <p>12 WINDOW: TYPE: 100' AP AMERICA INC. STYLE: 2'x4' 1/2" FINISH: DARK BRONZE SATIN ANODIZED ALUMINUM GLAZING: CLEAR, 1" INSULATED, LOW E</p> <p>13 WINDOW: TYPE: 100' AP AMERICA INC. STYLE: 2'x4' 1/2" FINISH: ANODIZED CLEAR SATIN SIZE: 2' AS REV'D BY LOCATION</p> <p>14 DRIVE-THRU WINDOW: TYPE: GARDNER MATERIAL: ALUMINUM FINISH: ANODIZED CLEAR SATIN VENDOR: N. MASSERSTRIM & SONS</p> <p>15 DRIVE LIGHTING: TYPE: MORGAN HOPE STYLE: 1/2" THK. W/TH BLACK TRACY MODEL: 1/2" THK. 1/2" DR. (DRIVE LIGHT) VENDOR: H&C NOTE: MUST BE INSTALLED PER MANUFACTURERS REQUIREMENTS</p>	<p>16 SOLID COLOR STAIN: TYPE: BENJAMIN MOORE STYLE: 2'x4' 1/2" FINISH: SANDY BROWN #104 PRODUCT: AMERICAN WATERBORNE SOLID COLOR STAIN #104 FINISH: SELF PRIMING ON MOST SURFACES USE TECH DATA SHEET FOR DETAILS</p> <p>17 TRANSITION TRIM: TYPE: 100' AP AMERICA INC. STYLE: 2'x4' 1/2" FINISH: CLEAR SATIN ANODIZED ALUMINUM</p> <p>18 WINDOW: TYPE: BENJAMIN MOORE COLOR: SANDY BROWN #104 PRODUCT: AURA EXTERIOR PAINT LOW LUSTRE #334 FINISH: FIRST COAT AURA EXTERIOR PAINT LOW LUSTRE #334</p> <p>19 BRICK: TYPE: STO CORPORATION COLOR: NAL-024 (MATCHES BENJAMIN MOORE ALMOND TRAIL #103) FINISH: 3/8" S/D MEDIUM SAND VENDOR: STO CORPORATION NOTE: PROVIDE HIGH IMPACT LIPS FROM GRADE TO 3'-0" A.F.F.</p> <p>20 WALK COOLER/FREEZER: TYPE: NORLAK COLOR: PREFINISHED FROM MANUFACTURER TO MATCH BUILDING VENDOR: MASSERSTRIM NOTE: SEE EQUIPMENT SCHEDULE FOR DETAILS</p> <p>21 BREAK METAL CLOSURE: TYPE: UNI-CLAD FINISH: CLEAR SATIN ANODIZED ALUMINUM VENDOR: NO LOOK EXTERIORS</p>
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DESIGN INTENT

MAIN STREET
TOWN SQUARE
ANY TOWN, USA.

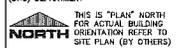


AMERICAN DAIRY QUEEN
MINNEAPOLIS, MN U.S.A.

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BUILDING TYPE:
DAIRY QUEEN GRILL & CHILL
CORE 72

DRAWN, CHECKED, & APPROVED BY: ADD
DESIGN - ARCHITECTURE - CONSTRUCTION
(A/C) DEPARTMENT

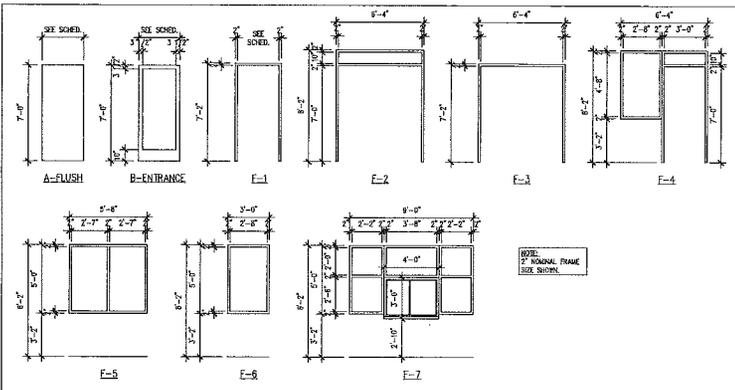


THIS IS "PLAN" NORTH
FOR ACTUAL BUILDING
ORIENTATION REFER TO
SITE PLAN (BY OTHERS)

ISSUE DATE:	4-1-2013
REVISION DATE:	6-28-2014
PLAN REVISION BULLETIN #1	4-28-2014
PLAN REVISION BULLETIN #2	6-2-2014
PLAN REVISION BULLETIN #3	

ELEVATIONS

SHEET NUMBER:
A3.1



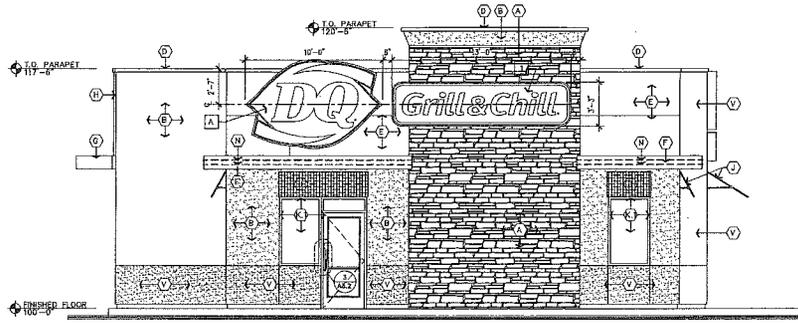
OPENING SCHEDULE NATIONAL ACCOUNT DOOR AND FRAME SUPPLIER (PLAM, WOOD AND H.M.) HAMILTON PARKER, SEE NATIONAL VENDORS LIST

OPNL. NO.	LOC.	OPENING	DOOR/WINDOW	TYPE	MATERIAL	FINISH	FRM. MATERIAL	FRM. FINISH	FIRE RATING	MARKING	NOTES
100A	VESTIBULE (EXT.)	(2) 3'-0" x 7'-0" x 1 3/4"	B	ALUM.	BRONZE	F2	ALUM.	BRONZE	1		
100B	VESTIBULE (INT.)	(2) 3'-0" x 7'-0" x 1 3/4"	D	ALUM.	BRONZE	F3	ALUM.	BRONZE	2		MOUNT BOTTOM OF DOOR FRAME LEVEL WITH TOP OF FLOOR TILE
101A	DINING ROOM	3'-0" x 5'-0"				F3	ALUM.	BRONZE			
101B	DINING ROOM	3'-0" x 5'-0"				F3	ALUM.	BRONZE			
101C	DINING ROOM	3'-0" x 5'-0"				F3	ALUM.	BRONZE			
101D	DINING ROOM	3'-0" x 5'-0"				F3	ALUM.	BRONZE			
101E	DINING ROOM	3'-0" x 5'-0"				F3	ALUM.	BRONZE			
101F	PATIO	6'-4" x 8'-2" x 1 3/4"	B	ALUM.	BRONZE	F4	ALUM.	BRONZE	3		
102	WOMEN'S	3'-0" x 7'-0" x 1 3/4"	A	P.C.	PLAM	F1	H.M.	PAINT	5		UNDERCUT BY 1" - PLAN: WILSONART LAMBER MAPLE 10734-SG
103	MEN'S	3'-0" x 7'-0" x 1 3/4"	A	P.C.	PLAM	F1	H.M.	PAINT	5		UNDERCUT BY 1" - PLAN: WILSONART LAMBER MAPLE 10734-SG
104	DRIVE THRU	5'-0" x 5'-0"				F7	ALUM.	CLEAR			
106	OFFICE	3'-0" x 7'-0" x 1 3/4"	A	P.C.	PLAM	F1	H.M.	PAINT	6		UNDERCUT BY 1" - PLAN: WILSONART LAMBER MAPLE 10734-SG
107	SERVICE	3'-0" x 7'-0" x 1 3/4"	A	H.M.	H.M.	F1	H.M.	PAINT	4		SEE EXTERIOR ELEVATIONS FOR COLOR

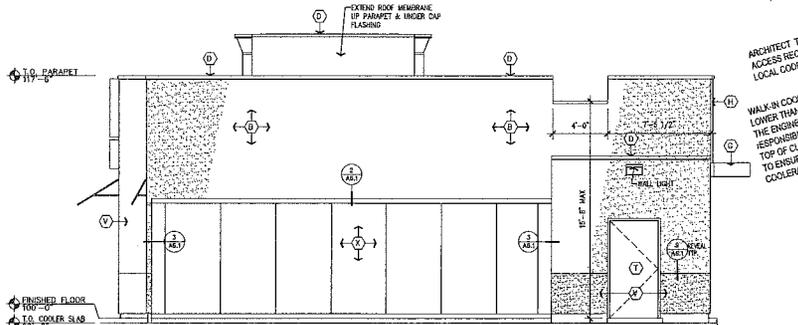
NOTES:
 1. EXTERIOR DOOR DOORS, SIZE AS PER PLAN AND SCHEDULE. ALL EDGES/SURFACES TO BE COVERED WITH PLASTIC LAMINATE.
 2. EXTERIOR DOOR DOORS, SIZE AS PER PLAN AND SCHEDULE. (PUT WOOD LEVEL 2 WOOD, 3 STEEL, TO BE 1/2" DIA., INTERIOR TO BE FIBER INSULATION, WITH INTERNAL REINFORCEMENT FOR CLOSURE AND PANIC HARDWARE.
 ALUM = ALUMINUM
 H.M. = HOLLOW METAL
 P.C. = PARTICLE BOARD
 BRZ = BRUSHED ALUMINUM SATINATED BRONZE FINISH
 CLS = ANODIZED ALUMINUM CLEAR FINISH
 PAINT = SEE INTERIOR ELEVATIONS AND FINISH SCHEDULE FOR COLOR

HARDWARE GROUPS NATIONAL ACCOUNT DOOR HARDWARE HAMILTON PARKER, SEE NATIONAL VENDORS LIST

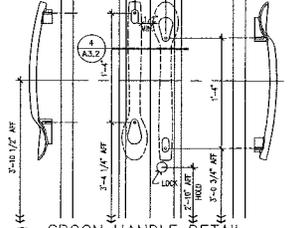
<p>GROUP #1: TYPICAL EXTERIOR VESTIBULE DOORS</p> <ul style="list-style-type: none"> CLOSER: HAGER MFG. MODEL #8030 SPR CSH CLOSER. HINGES: HAGER MFG. MCL #80119 320 WITH NON-REMOVABLE PINN 45° x 45° x 1/2" DIA. (4) HINGES PER LEAF. KEYED CYLINDER: HAGER MFG. MCL #80123 3070E CYLINDER, FINISH (2) KEYS PER DOOR, ALL CYLINDERS KEYS ALIKE (MOUNTED AT 34" AFF, COORDINATE W/ SPOON HANDLES) SPOON HANDLE (PROVIDED & INSTALLED BY ALUM. STRENGTH CONTRACTOR, AVAILABLE FROM H.M. SEE ADD. NATIONAL VENDORS LIST) PUSH BAR: HAGER MFG. 120S SNEEP: HAGER MFG. MCL #80120, M.L. ALUM. FINISH, SIZED TO FIT DOOR WIDTH. THRESHOLD: HAGER MFG. MCL #412 S, M.L. ALUM. FINISH, SIZED TO FIT DOOR OPENING HEIGHT. WEATHERSTRIPPING: PART OF DOOR MANUFACTURERS PACKAGE <p>1. THE G.C. TO PROVIDE DOOR SCHEDULE STATING THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS (SINGLE USE HORIZONTAL SPOON HANDLES).</p> <p>2. THE DOOR SPOON HANDLES HAVE SPECIAL INSTALLATION REQUIREMENTS. ALUMINUM STRENGTH CONTRACTOR MUST COORDINATE LOCK & HANDLE HEIGHTS.</p>	<p>GROUP #2: TYPICAL INTERIOR VESTIBULE DOORS</p> <ul style="list-style-type: none"> CLOSER: HAGER MFG. MODEL #8030 SPR CSH CLOSER. HINGES: HAGER MFG. MCL #80119 320 WITH NON-REMOVABLE PINN 45° x 45° x 1/2" DIA. (4) HINGES PER LEAF. PUSH/PULL: HAGER MFG. MCL #80120 320, & MCL #80120 H1 COMB. SDO. <p>VERIFY WITH LOCAL CODES IF PANIC DEVICES ARE REQUIRED AT STRENGTHENED DOORS</p> <p>DOOR SPOON HANDLE HAS SPECIAL INSTALLATION REQUIREMENTS. ALUM. STRENGTH CONTRACTOR MUST COORDINATE LOCK & HANDLE HEIGHTS</p>	<p>GROUP #3: TYPICAL EXTERIOR PATIO/DECK DOOR</p> <ul style="list-style-type: none"> CLOSER: HAGER MFG. MODEL #8030 SPR CSH CLOSER. LEAD BOLT: FINISH WITH M5600 HINGED: HAGER MFG. MCL #80119 320 WITH NON-REMOVABLE PINN 45° x 45° x 1/2" DIA. (4) HINGES PER LEAF. KEYED CYLINDER: HAGER MFG. MCL #80123 3070E CYLINDER, FINISH (2) KEYS PER DOOR, ALL CYLINDERS KEYS ALIKE (MOUNTED AT 34" AFF, COORDINATE W/ SPOON HANDLES) SPOON HANDLE (PROVIDED & INSTALLED BY ALUM. STRENGTH CONTRACTOR, AVAILABLE FROM H.M. SEE ADD. NATIONAL VENDORS LIST) PUSH BAR: HAGER MFG. 130 SNEEP: HAGER MFG. MCL #80120, M.L. ALUM. FINISH, SIZED TO FIT DOOR WIDTH. HINGED: HAGER MFG. MCL #412S, M.L. ALUM. FINISH, SIZED TO FIT DOOR OPENING HEIGHT. WEATHERSTRIPPING: PART OF DOOR MANUFACTURERS PACKAGE <p>1. THE G.C. TO PROVIDE DOOR SCHEDULE STATING THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS (SINGLE USE HORIZONTAL SPOON HANDLES).</p> <p>2. THE DOOR SPOON HANDLES HAVE SPECIAL INSTALLATION REQUIREMENTS. ALUMINUM STRENGTH CONTRACTOR MUST COORDINATE LOCK & HANDLE HEIGHTS.</p>
<p>GROUP #4: TYPICAL REAR SERVICE DOOR</p> <ul style="list-style-type: none"> CLOSER: HAGER MFG. MODEL #8030 SPR CSH CLOSER. PULL: HAGER MFG. MCL #80120 320, M.L. ALUM. FINISH, SIZED TO FIT DOOR WIDTH. HINGES: HAGER MFG. MCL #80119 320 WITH NON-REMOVABLE PINN 45° x 45° x 1/2" DIA. (4) HINGES PER LEAF. KEY PLATE: HAGER MFG. MCL #80120 320, M.L. ALUM. FINISH, SIZED TO FIT DOOR WIDTH. STOP DOOR: HAGER MFG. MCL #80120 320, M.L. ALUM. FINISH, SIZED TO FIT DOOR WIDTH. WEATHERSTRIPPING: HAGER MFG. MCL #80120 320, M.L. ALUM. FINISH, SIZED TO FIT DOOR. 	<p>GROUP #5: TYPICAL RESTROOM DOOR</p> <ul style="list-style-type: none"> CLOSER: HAGER MFG. MODEL #8030 SPR CSH CLOSER. HINGES: HAGER MFG. MCL #80119 320 WITH NON-REMOVABLE PINN 45° x 45° x 1/2" DIA. (4) HINGES PER LEAF. KEY PLATE: HAGER MFG. MCL #80120 320, M.L. ALUM. FINISH, SIZED TO FIT DOOR WIDTH. STOP DOOR: HAGER MFG. MCL #80120 320, M.L. ALUM. FINISH, SIZED TO FIT DOOR WIDTH. WEATHERSTRIPPING: HAGER MFG. MCL #80120 320, M.L. ALUM. FINISH, SIZED TO FIT DOOR. 	<p>GROUP #6: TYPICAL OFFICE DOOR</p> <ul style="list-style-type: none"> CLOSER: HAGER MFG. MODEL #8030 CLOSER. HINGED: HAGER MFG. MCL #80119 320 WITH NON-REMOVABLE PINN 45° x 45° x 1/2" DIA. (4) HINGES PER LEAF. KEY PLATE: HAGER MFG. MCL #80120 320, M.L. ALUM. FINISH, SIZED TO FIT DOOR WIDTH. STOP DOOR: HAGER MFG. MCL #80120 320, M.L. ALUM. FINISH, SIZED TO FIT DOOR WIDTH. WEATHERSTRIPPING: HAGER MFG. MCL #80120 320, M.L. ALUM. FINISH, SIZED TO FIT DOOR.



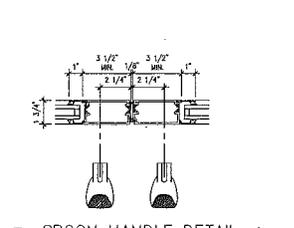
1 FRONT ELEVATION A3.2 SCALE: 1/4" = 1'-0"



2 REAR ELEVATION A3.2 SCALE: 1/4" = 1'-0"



3 SPOON HANDLE DETAIL A3.2 SCALE: 1 1/2" = 1'-0"



4 SPOON HANDLE DETAIL A3.2 SCALE: 3" = 1'-0"

DESIGN IN TENDENT

MAIN STREET
TOWN SQUARE
ANY TOWN, USA.



AMERICAN DAIRY QUEEN
MINNEAPOLIS, MN U.S.A.

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WITHOUT ALSO CONSENT.

BUILDING TYPE:
DAIRY QUEEN GRILL & CHILL
CORE 72

DRAWN, CHECKED, & APPROVED BY: ADG
DESIGN - ARCHITECTURE - CONSTRUCTION
(OAC) DEPARTMENT

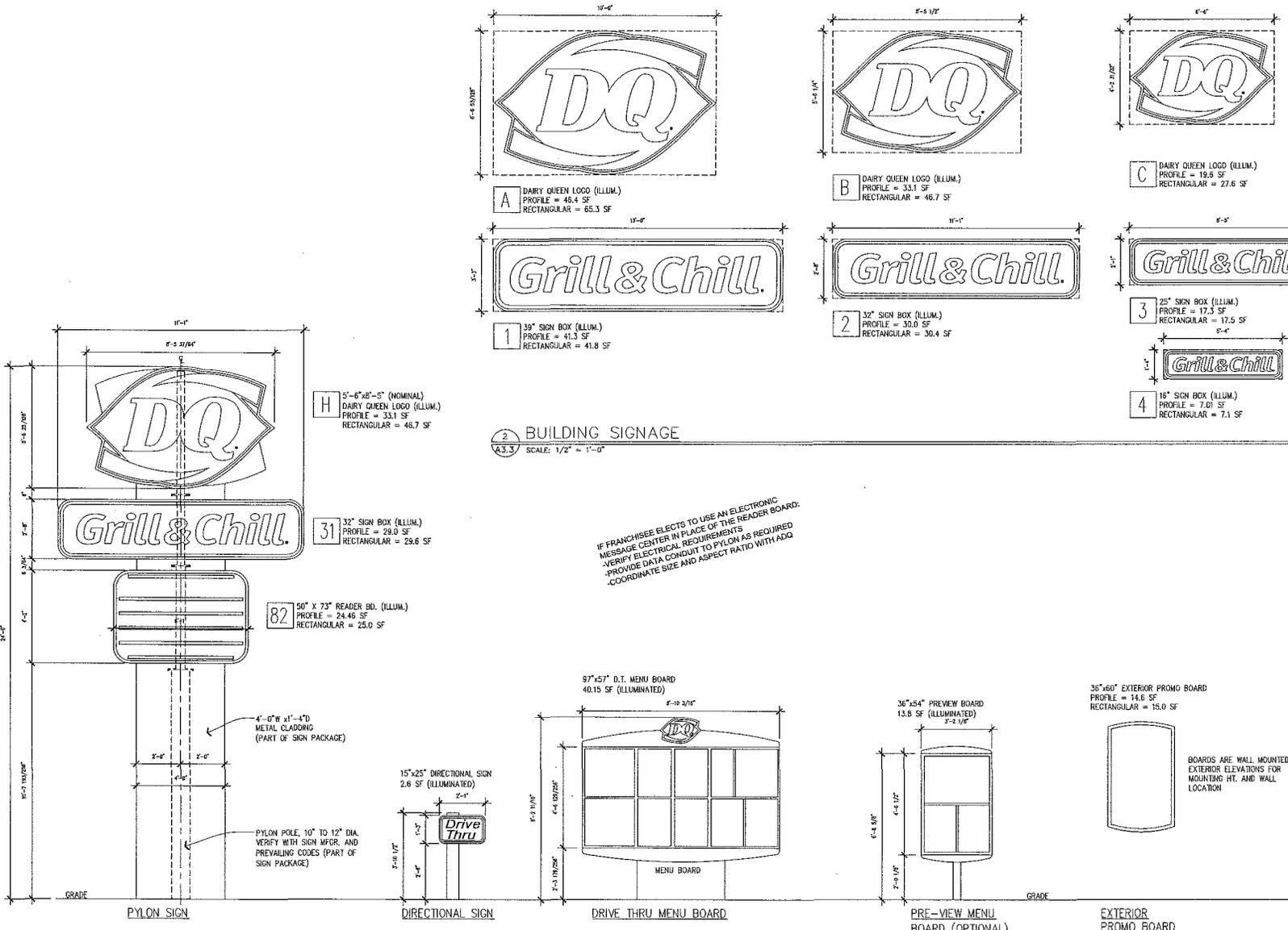
THIS IS "PLAN" NORTH
FOR ACTUAL BUILDING
ORIENTATION REFER TO
SITE PLAN (BY OTHERS)

ISSUE DATE: 4-1-2013

REVISION DATE:
 4-29-2014 PLAN REVISION BALLETTA J.
 5-28-2014 PLAN REVISION BALLETTA J.
 6-8-2014 PLAN REVISION BALLETTA J.

ELEVATIONS,
DOOR & FRAME
TYPES

SHEET NUMBER:
A3.2



2 BUILDING SIGNAGE
SCALE: 1/2" = 1'-0"

1 SITE SIGNAGE
SCALE: 1/2" = 1'-0"

DESIGN INTENT

MAIN STREET
TOWN SQUARE
ANY TOWN, USA.



AMERICAN DAIRY QUEEN
MINNEAPOLIS, MN U.S.A.

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BUILDING TYPE:
DAIRY QUEEN GRILL & CHILL
CORE 72

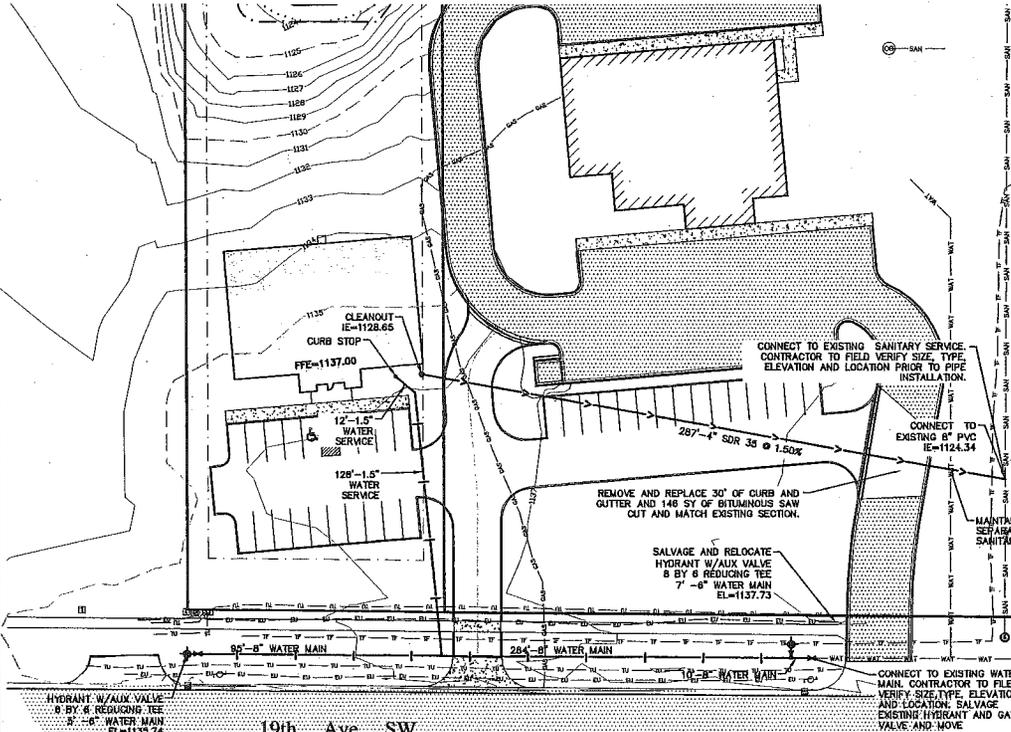
DRAWN, CHECKED, & APPROVED BY: ADO ARCHITECTURE-CONSTRUCTION (A/C) DEPARTMENT

THIS IS "PLAN" NORTH FOR ACTUAL BUILDING ORIENTATION REFER TO SITE PLAN (BY OTHERS)

ISSUE DATE: 4-1-2013

REVISION DATE	PLAN REVISION BULLETIN #
4-28-2014	PLAN REVISION BULLETIN #2
8-2-2014	PLAN REVISION BULLETIN #3

SIGNAGE MATRIX

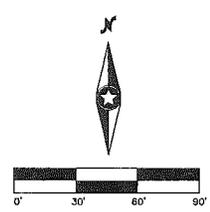


General Utility Notes

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON THE RECORDS OF VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
2. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WITH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE LOCATION OF UTILITIES SHALL BE OBTAINED BY THE CONTRACTOR BY CALLING GOPIHER ONE CALL 1-800-252-1166
3. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN ALL NECESSARY FEDERAL, STATE AND LOCAL PERMITS FOR THE PROPOSED WORK OR VERIFY WITH THE OWNER THAT THE PERMITS HAVE BEEN OBTAINED. PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE ARRANGED WITH THE OWNER.
4. CONTRACTOR SHALL REFER TO BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF DOORWAYS, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY CONNECTION LOCATIONS.
5. ALL ELECTRICAL COMMUNICATIONS AND GAS EXTENSIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE SERVICE LINE CONSTRUCTION WITH THE UTILITY COMPANIES.
6. ALL SANITARY SEWER, STORM SEWER AND WATERMAIN INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE CITY'S REQUIREMENTS AND THE CURRENT BUILDING AND PLUMBING CODE REQUIREMENTS EXCEPT AS MODIFIED WITHIN:
7. WATER LINES AND SANITARY SEWER LINES SHALL BE INSPECTED AND APPROVED BY THE CITY. THE CITY SHALL BE NOTIFIED PRIOR TO COMMENCING WITH THE UTILITY CONSTRUCTION.
8. THE CONTRACTOR SHALL NOT OPERATE, INTERFERE WITH, CONNECT ANY PIPE ANY PIPE OR HOSE, OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF SCHEDULED OR UNSCHEDULED DISRUPTIONS IN SERVICE TO THE PUBLIC ARE TO BE THE LIABILITY OF THE CONTRACTOR.
9. WATERMAIN LENGTHS AS SHOWN ARE APPROXIMATE HORIZONTAL LENGTHS. ALLOW FOR ADDITIONAL PIPE WHEN INSTALLING ON SLOPES OR WHEN DEFLECTIONS ARE REQUIRED. THE JOINT DEFLECTIONS SHALL NOT EXCEED THE MAXIMUM RECOMMENDED BY THE PIPE MANUFACTURER, OR BY LOCAL GOVERNING SPECIFICATIONS. FITTINGS REQUIRED TO CONSTRUCT WATER MAIN SHALL BE INCLUDED IN THE WATER MAIN CONSTRUCTION.
10. A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATER MAIN CROSSINGS WITH SANITARY SEWER OR STORM SEWER OR GREATER AS REQUIRED BY CITY OR STATE.
11. SANITARY SEWER PLUGS AND CAPS SHALL BE SECURELY INSTALLED AT THE END OF SERVICE LINES TO ALLOW FOR PRESSURE TESTING OF SANITARY SEWER MAINS.
12. UTILITY SERVICE SHALL TERMINATE 5' OUTSIDE OF THE BUILDING UNLESS OTHERWISE NOTED ON THE PLANS.
13. DISINFECTION AND PRESSURE TESTING SHALL BE IN ACCORDANCE WITH THE PLUMBING CODE AND PAID FOR BY THE CONTRACTOR UNDER SUPERVISION OF THE CITY. THE CONTRACTOR SHALL NOTIFY THE CITY A MINIMUM OF 24 HOURS PRIOR TO ANY TESTING. THE COMPLETED WATER MAINS SHALL BE DISINFECTED FOR 24 HOURS WITH 80 PPM AVAILABLE CHLORINE. AT THE END OF THIS PERIOD, THE RESIDUAL SHALL BE AT LEAST 10 PPM WITHIN THE WATER MAIN. WATER MAIN SHALL BE PRESSURE TESTED AT 200 PSI FOR 2 HOURS OR PER THE REQUIREMENTS OF THE CITY.
14. ALL MATERIALS SHALL BE AS SPECIFIED IN CITY REQUIREMENTS AND PLUMBING CODE EXCEPT AS MODIFIED HEREIN.
15. PROVIDE 18" VERTICAL SEPARATION FROM SANITARY SEWER AND STORM SEWER.
16. INSULATE WATER AND SANITARY SEWER MAIN WITH LESS THAN 7.5" OF COVER.
17. INSULATION SHALL BE DOW STYROFOAM HI BRAND 35 OR EQUIVALENT, WITH 4 INCHES OF THICKNESS.
18. ALL SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 OR 28 UNLESS OTHERWISE NOTED. SDR 28 IS REQUIRED FOR DEPTHS GREATER THAN 15 FEET. WITHIN 5 FEET OF THE BUILDING AND UNDER FOOTINGS, PIPE SHALL PVC SCHEDULE 40.
19. REINFORCED CONCRETE STORM SEWER PIPE SHALL BE CLASS 5, UNLESS OTHERWISE NOTED, WITH R-4 GASKETS.
20. HOPE STORM SEWER SHALL MEET THE REQUIREMENTS OF AASHTO M284, TYPE S WITH WATER TIGHT JOINTS.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO MD DOT STANDARDS.
22. ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY THE OWNERS GEOTECHNICAL ENGINEER. EXCAVATIONS FOR THE PURPOSES OF REMOVING UNSUITABLE OR UNSUITABLE MATERIALS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.
23. EMBANKMENT MATERIALS SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
24. AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS FROM THE PLANS. THE CONTRACTOR SHALL VERIFY WITH THE OWNER WHETHER A PLAN WITH POST CONSTRUCTION ELEVATIONS IS REQUIRED.
25. THE CONTRACTOR SHALL OBTAIN NECESSARY CITY PERMITS FROM THE CITY, COUNTY OR STATE ENGINEERING DIVISION FOR THE CONNECTION TO THE CITY UTILITIES A MINIMUM OF 48 HOURS PRIOR TO COMMENCING WORK.
26. THE CONTRACTOR IS REQUIRED TO MEET ALL LOCAL, STATE, AND FEDERAL REGULATIONS.

Legend

EXISTING	PROPOSED	
—	—	PROPERTY LINE
—S—S—	—S—S—	SANITARY SEWER
—W—W—	—W—W—	WATER MAIN
—ST—ST—	—ST—ST—	STORM SEWER
—G—G—	—G—G—	GAS LINE
—E—E—	—E—E—	UNDERGROUND ELECTRIC
—O—O—	—O—O—	OVERHEAD ELECTRIC
—T—T—	—T—T—	UNDERGROUND TELEPHONE
—U—U—	—U—U—	OVERHEAD TELEPHONE
—C—C—	—C—C—	UNDERGROUND CABLE
—F—F—	—F—F—	UNDERGROUND FIBER OPTIC
⊕	⊕	GATE VALVE
⊕	⊕	HYDRANT
⊕	⊕	ELECTRIC BOX
⊕	⊕	STORM MANHOLE
⊕	⊕	CATCH BASIN
⊕	⊕	CABLE BOX
⊕	⊕	ELECTRIC BOX
⊕	⊕	LIGHT POLE
⊕	⊕	SON
⊕	⊕	BITUMINOUS PAVEMENT
⊕	⊕	CONCRETE PAVEMENT



BOLLIGinc
 engineering & environmental
 Willmar, Minnesota
 PH: 320.235.2555
 Email: contact@bollig-engineering.com
 www.bollig-engineering.com

Surveyed:	Bonams Survey/Bollig Inc.
Designed:	DJP
Drawn:	DJP
Checked:	ARN

Engineer's Signature:

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

David J. Pirag
 David J. Pirag
 LIC. NO.: 47635 DATE: 9/23/2014

Revisions:

No.	Date	Revision	Sheet

Prepared for:

Taatjes Financial

Willmar, mn

Taatjes Willmar Office
 Willmar, MN

Utility Plan

Date: 9/23/14

BOLLIGinc
engineering & environmental
Willmar, Minnesota
PH: 320.235.2555
Email: contact@bollig-engineering.com
www.bollig-engineering.com

Surveyed:	Rommus Survey/Bollig Inc.
Designed:	DJP
Drawn:	DJP
Checked:	ARN

Engineer's Signature:

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Daniel J. Piraj

Daniel J. Piraj
Lic. No.: 47635 DATE: 9/23/2014

Revisions:

No.	Date	Revision	Sheet

Prepared for:

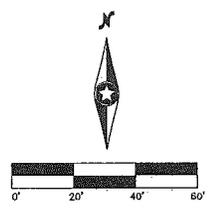
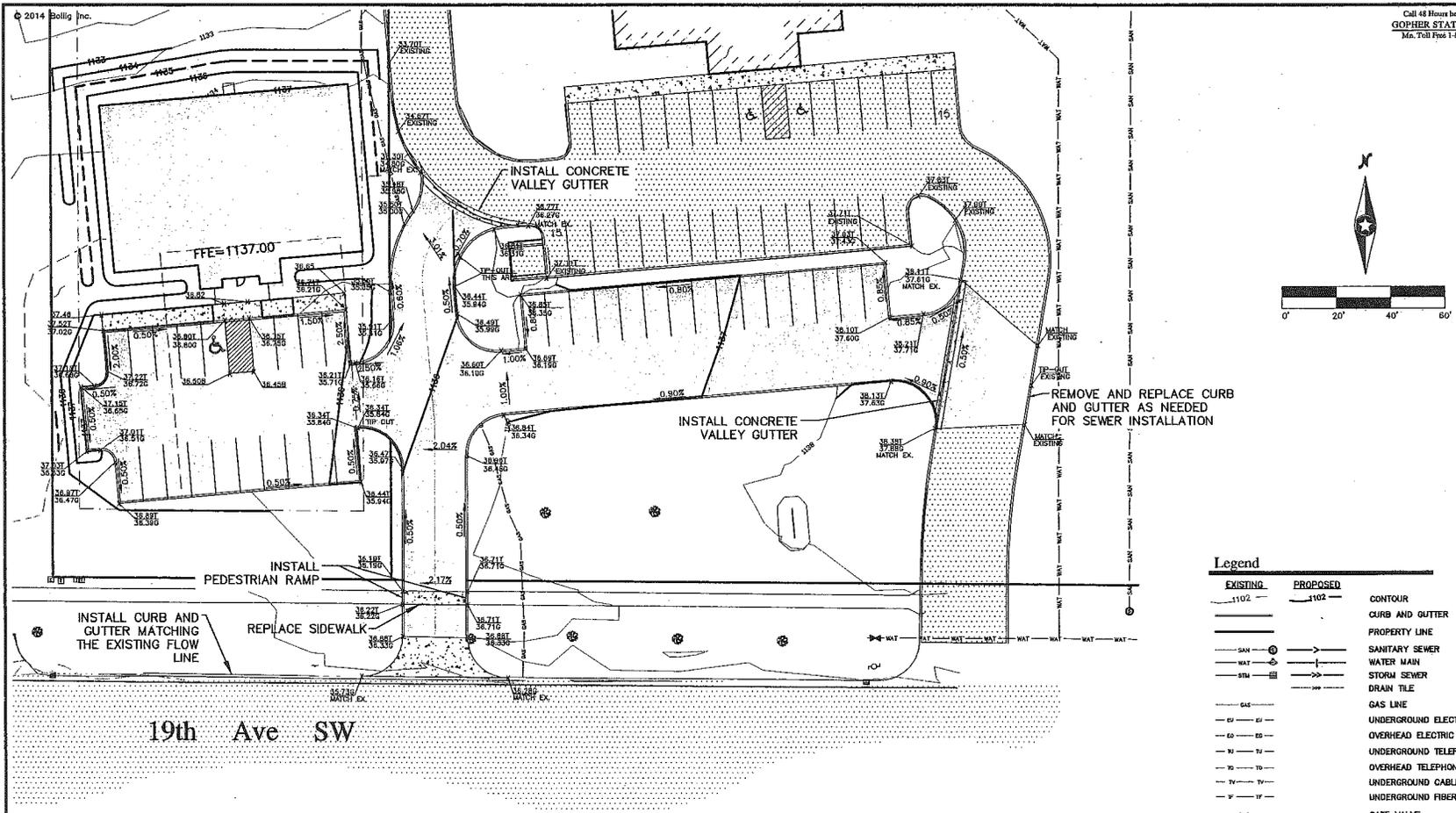
**Taatjes
Financial**

Willmar, mn

**Taatjes
Willmar
Office**
Willmar, MN

Grading Plan

Date: 9/23/14



EXISTING	PROPOSED	
— 1102 —	— 1102 —	CONTOUR
—	—	CURB AND GUTTER
—	—	PROPERTY LINE
— SAN —	—	SANITARY SEWER
— WAT —	—	WATER MAIN
— STM —	—	STORM SEWER
—	—	DRAIN TILE
— GAS —	—	GAS LINE
— E1 —	—	UNDERGROUND ELECTRIC
— E2 —	—	OVERHEAD ELECTRIC
— T1 —	—	UNDERGROUND TELEPHONE
— T2 —	—	OVERHEAD TELEPHONE
— TV —	—	UNDERGROUND CABLE
— F —	—	UNDERGROUND FIBER OPTIC
—	—	GATE VALVE
—	—	HYDRANT
—	—	ELECTRIC BOX
—	—	STORM MANHOLE
—	—	CATCH BASIN
—	—	CABLE BOX
—	—	ELECTRIC BOX
—	—	LIGHT POLE
—	—	SIGN
—	—	BITUMINOUS PAVEMENT
—	—	CONCRETE PAVEMENT
—	—	SLOPE ARROW
—	—	FINISHED GRADE ELEVATION
—	—	EMERGENCY OVER FLOW ELEVATION
—	—	TOP OF CURB ELEVATION
—	—	GUTTER ELEVATION
—	—	EXISTING TOP OF CURB ELEVATION
—	—	EXISTING GUTTER ELEVATION

Grading Notes

- CONTRACTORS SHALL FIELD VERIFY THE EXACT LOCATION, ELEVATION, AND SIZE OF ALL UTILITIES
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MANDOT STANDARDS.
- SAFETY NOTICE TO CONTRACTORS: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER OR THE OWNER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL COMPLETE THE SITE GRADING IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER'S GEOTECHNICAL ENGINEER. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOIL TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER. THE COSTS OF RETESTING (IN THE CASE OF TESTS NOT MEETING STANDARDS) SHALL BE BORNE BY THE CONTRACTOR.
- ALL GRADES TO BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.
- FINISHED GRADING SHALL BE COMPLETED. THE CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING, INCLUDING ADJACENT TRANSITION AREAS. PROVIDE A SMOOTH FINISHED SURFACE WITHIN THE SPECIFIED TOLERANCES, WITH UNIFORM LEVELS OR SLOPES BETWEEN POINTS, WHERE ELEVATIONS ARE SHOWN, OR BETWEEN SUCH POINTS, AND EXISTING GRADES. AREAS THAT HAVE BEEN FINISH GRADED SHALL BE PROTECTED FROM SUBSEQUENT CONSTRUCTION OPERATIONS.
- IF EXCESS SOIL MATERIAL EXISTS AFTER THE SITE GRADING IS COMPLETED, THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES INVOLVED.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- EMBANKMENT MATERIAL PLACED BENEATH PARKING AREAS SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- EMBANKMENT MATERIAL NOT PLACED IN THE PARKING AREA SHALL BE COMPACTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2103.3F2.
- ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY THE OWNER'S GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.



WILLMAR MUNICIPAL
UTILITIES
PRIAM SUBSTATION

Date: October 8, 2014
Subject: Priam Substation Project Overview
To: City of Willmar Planning Commission
From: Jeron Smith, Staff Electrical Engineer

Willmar Municipal Utilities (WMU), Kandiyohi Power Cooperative (KPC), and Great River Energy (GRE), all depend on the existing Willmar Substation to supply power to their customers. If a tornado or similar event forced key facilities out of service, it is likely that rotating blackouts would be required until the facilities were repaired.

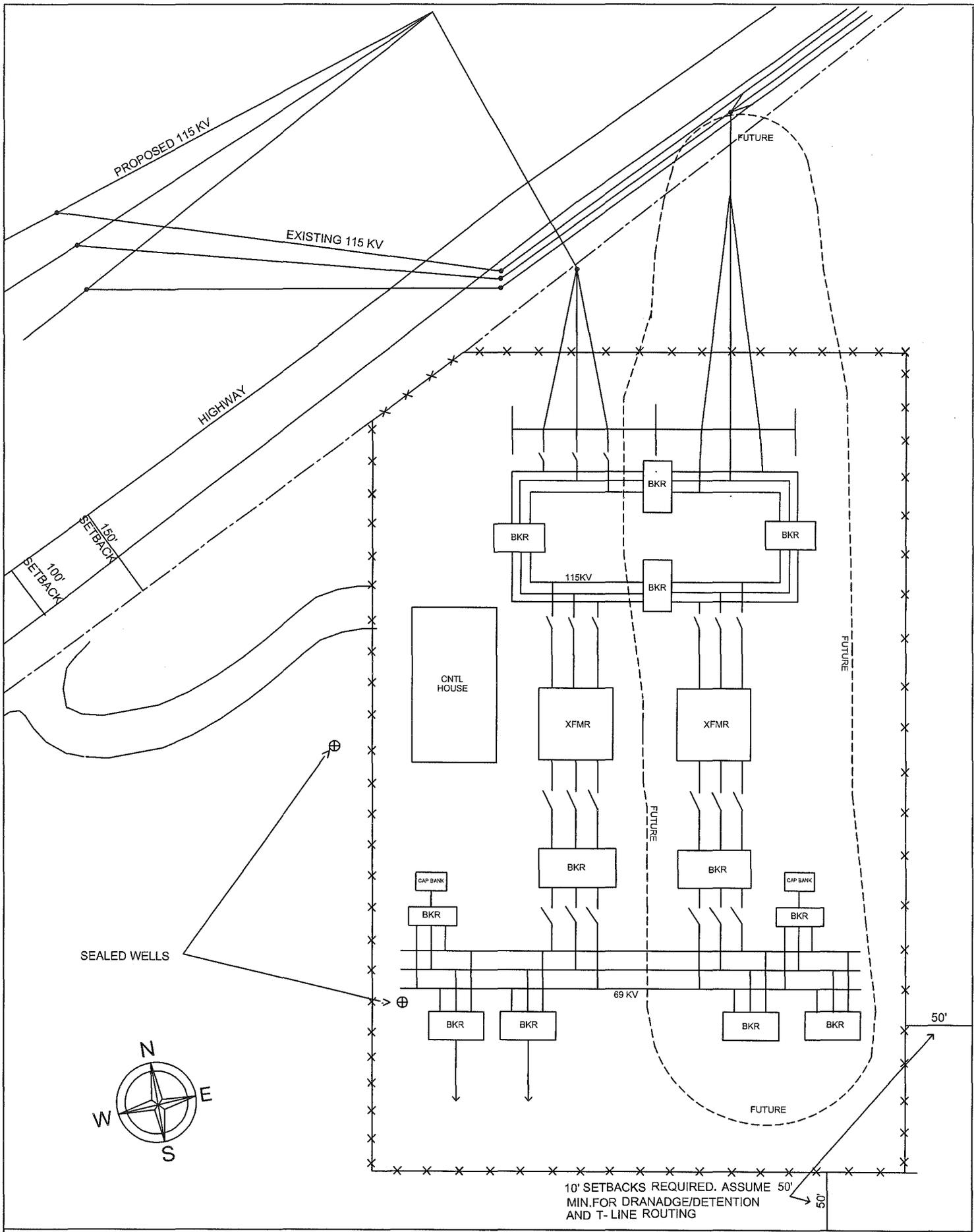
With the construction of the proposed Priam Substation, the key facilities will be separated into two substations approximately five miles apart. The result will be increased load serving reliability for WMU, KPC, and GRE because when either substation is out of service, the other substation will be able to supply power to all loads within each utility's territory.

Minnesota law requires all new transmission projects to be approved by the Minnesota Public Utilities Commission (MPUC). GRE (who is responsible for modeling of the WMU transmission system as part of a regional electric grid) submitted the Priam project to MPUC as part of a biennial report in 2013. The entire report was accepted by MPUC in April of 2014.

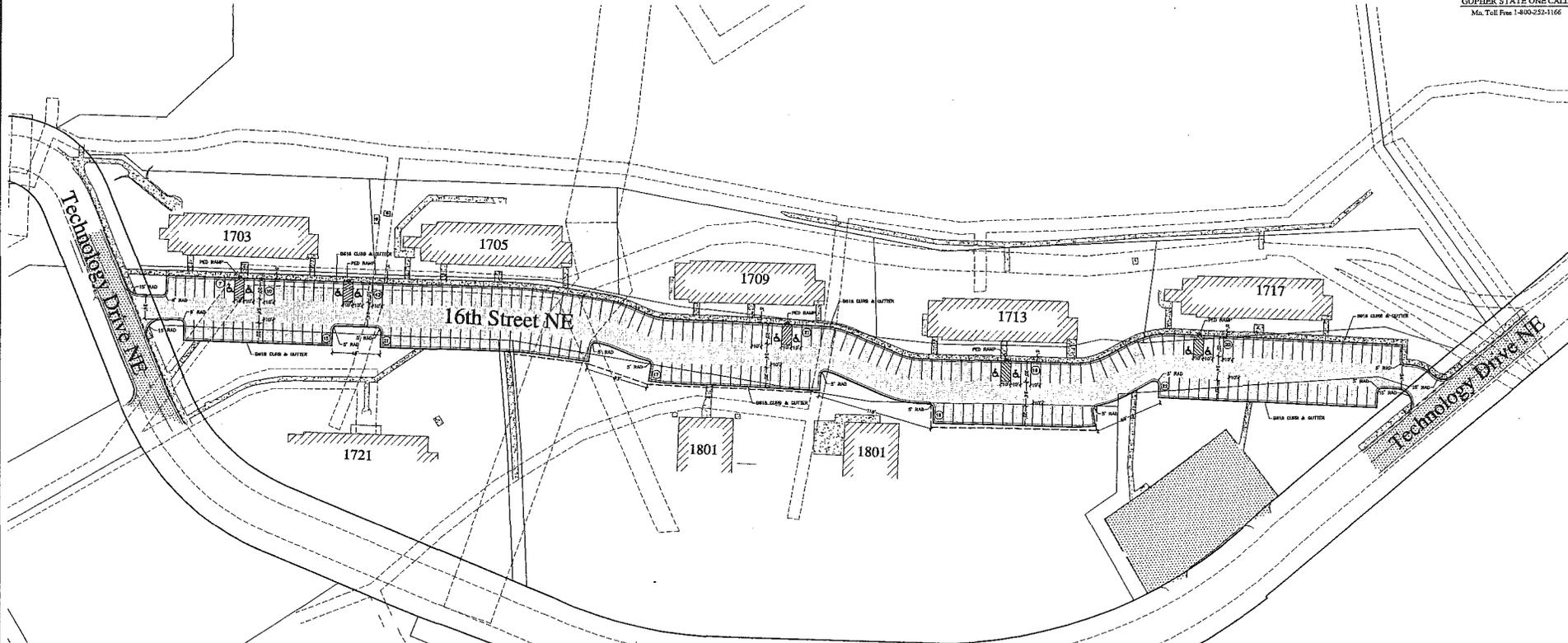
WMU is interested in acquiring 48 acres of land in Priam (Kandiyohi Parcel #31-036-0080 and #31-036-0090) by January 1, 2015. Construction would be scheduled for June 2015 with an anticipated in service date of April 2016.

A site layout of the proposed substation is attached.





10' SETBACKS REQUIRED. ASSUME 50'
 MIN. FOR DRANADGE/DETENTION
 AND T-LINE ROUTING



Legend

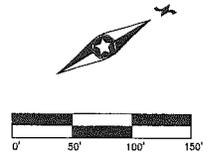
- EXISTING BITUMINOUS
- PROPOSED BITUMINOUS
- EXISTING CONCRETE
- PROPOSED CONCRETE
- PROPOSED PERMANENT EASEMENT
- EXISTING EASEMENT
- EXISTING LOT LINE
- EXISTING ROW LINE
- STALL COUNT

Parking Summary

TOTAL PROPOSED SPACES = 210 SPACES
PROPOSED HANDICAP PARKING = 10 SPACES

Note

ALL EXISTING PROPERTY AND EASEMENT LINES PROVIDED BY BONNEMA SURVEYS INC.



Project Number: 133017

BOLLIGinc
engineering & environmental
Willmar, Minnesota
PH: 320.235.2555 Email: contact@bollig-engineering.com
www.bollig-engineering.com

Surveyed:	KVD
Designed:	SAK
Drawn:	JAH
Checked:	ARN

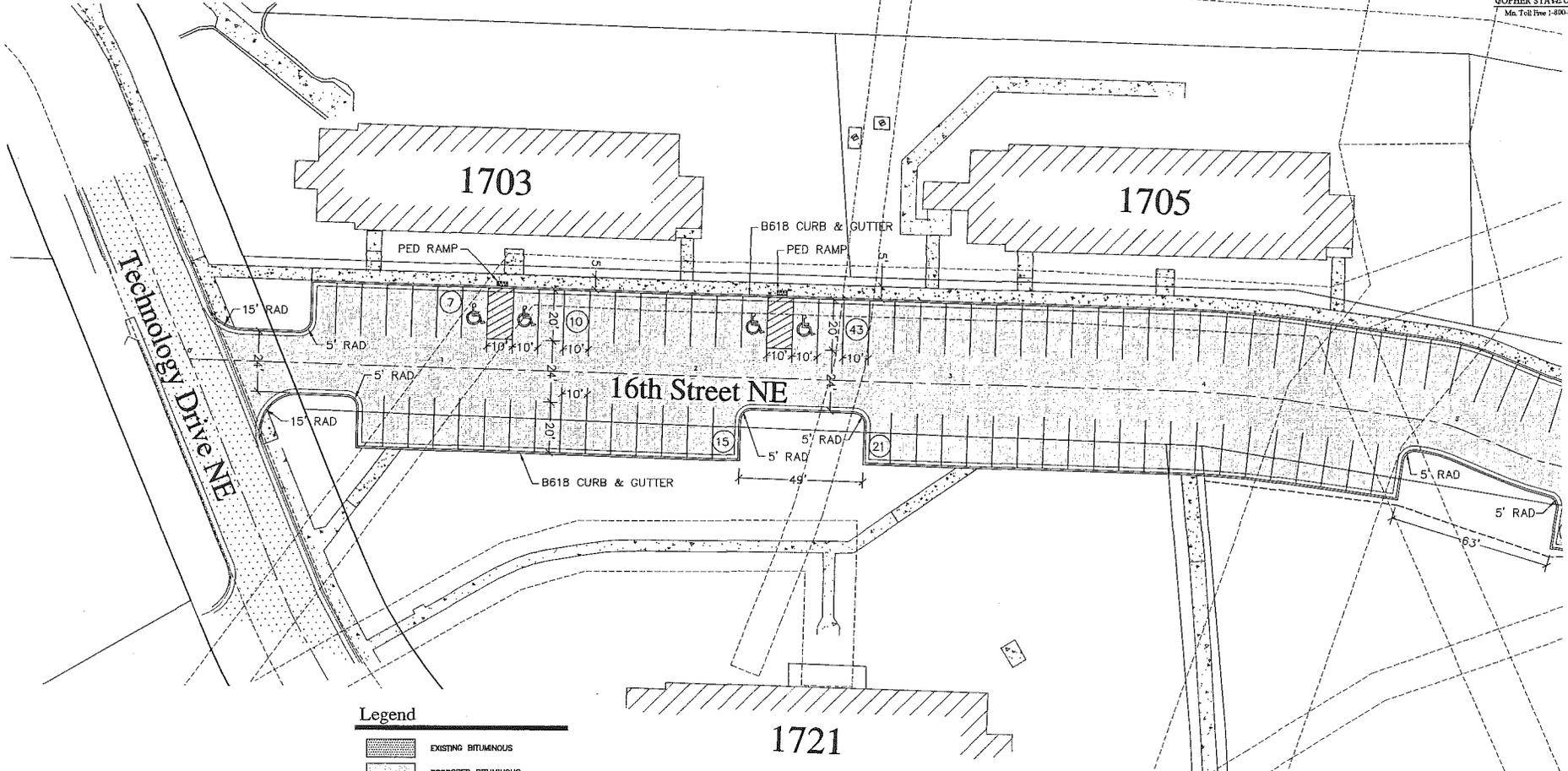
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
Andrew R. Nelson
Andrew R. Nelson
LIC. NO.: 43892 DATE: 9/24/2014

Revisions:			
No.	Date	Revision	Sheets

Prepared for:
MinnWest Technology Campus
1700 Technology Drive NE Suite 101
Willmar, MN 56201
Phone: 320.222.9770

16th Street NE Parking
Willmar, MN

Overall Site Plan
Date: 9/24/2014 Sheet: 1 of 4



SEE SHEET 9

Legend

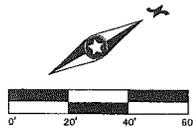
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- PROPOSED BITUMINOUS
- EXISTING CONCRETE
- PROPOSED CONCRETE
- PROPOSED PERMANENT EASEMENT
- EXISTING EASEMENT
- EXISTING LOT LINE
- EXISTING ROW LINE
- STALL COUNT

Parking Summary

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Note

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Project Number: 133017

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PH: 320.235.2555 Email: contact@bollig-engineering.com
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Surveyed:	EVD
Designed:	SAK
Drawn:	JAR
Checked:	ARN

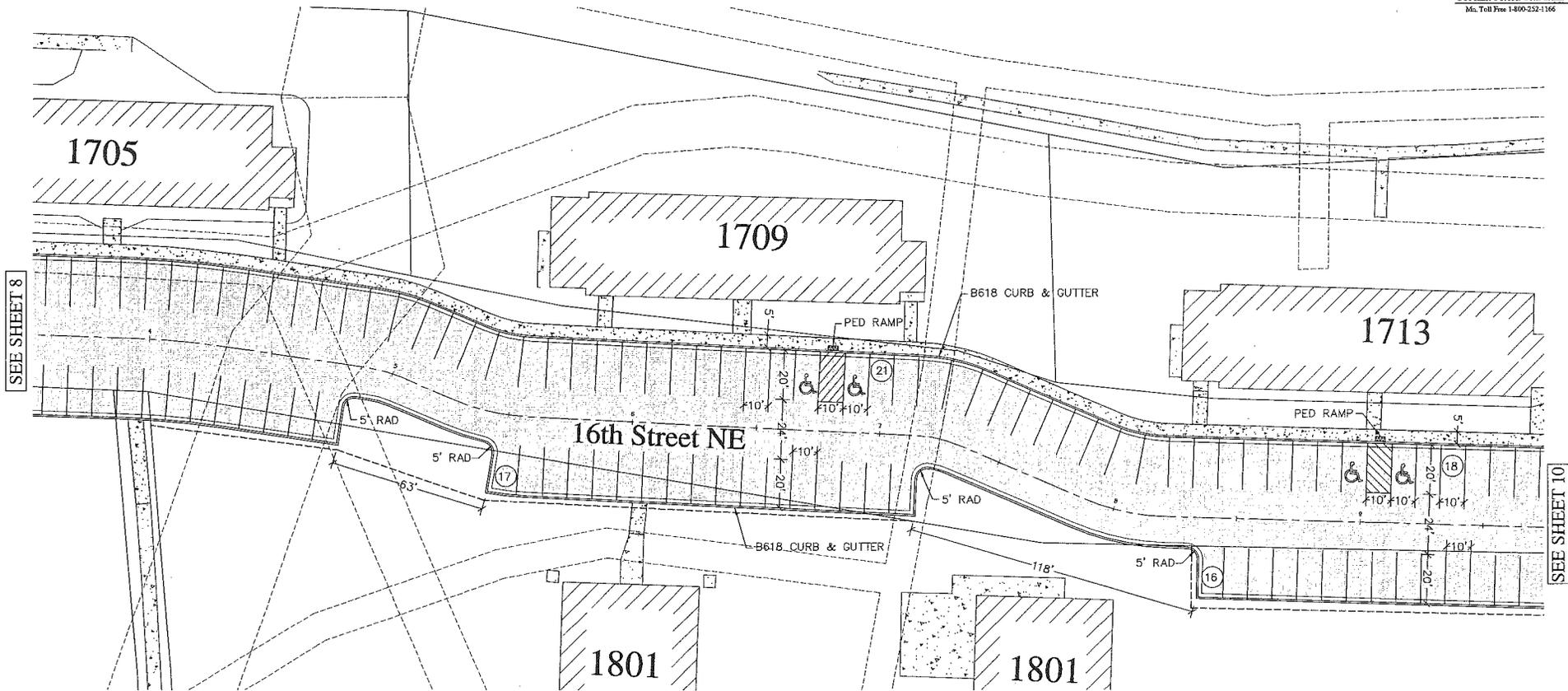
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Andrew R. Nelson
Andrew R. Nelson
LIC. NO.: 43892 DATE: 9/24/2014

Revisions:			
No.	Date	Revision	Sheets

Prepared for:
MinnWest Technology Campus
1700 Technology Drive NE Suite 101
Willmar, MN 56201
Phone: 320.222.9770

16th Street NE Parking
Willmar, MN

Site Plan
Date: 9/24/2014 Sheet: 2 of 4



SEE SHEET 8

SEE SHEET 10

Legend

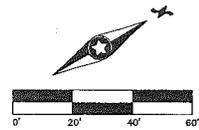
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- PROPOSED CONCRETE
- PROPOSED PERMANENT EASEMENT
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Parking Summary

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Note

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Project Number: 133017

BOLLIGinc
engineering & environmental
Willmar, Minnesota
PH: 320.235.2585 Email: contact@bollig-engineering.com
www.bollig-engineering.com

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Surveyed: KVD
Designed: SAK
Drawn: JAH
Checked: ARN

Andrew R. Nelson
Andrew R. Nelson
Lic. No.: 43892 DATE: 9/24/2014

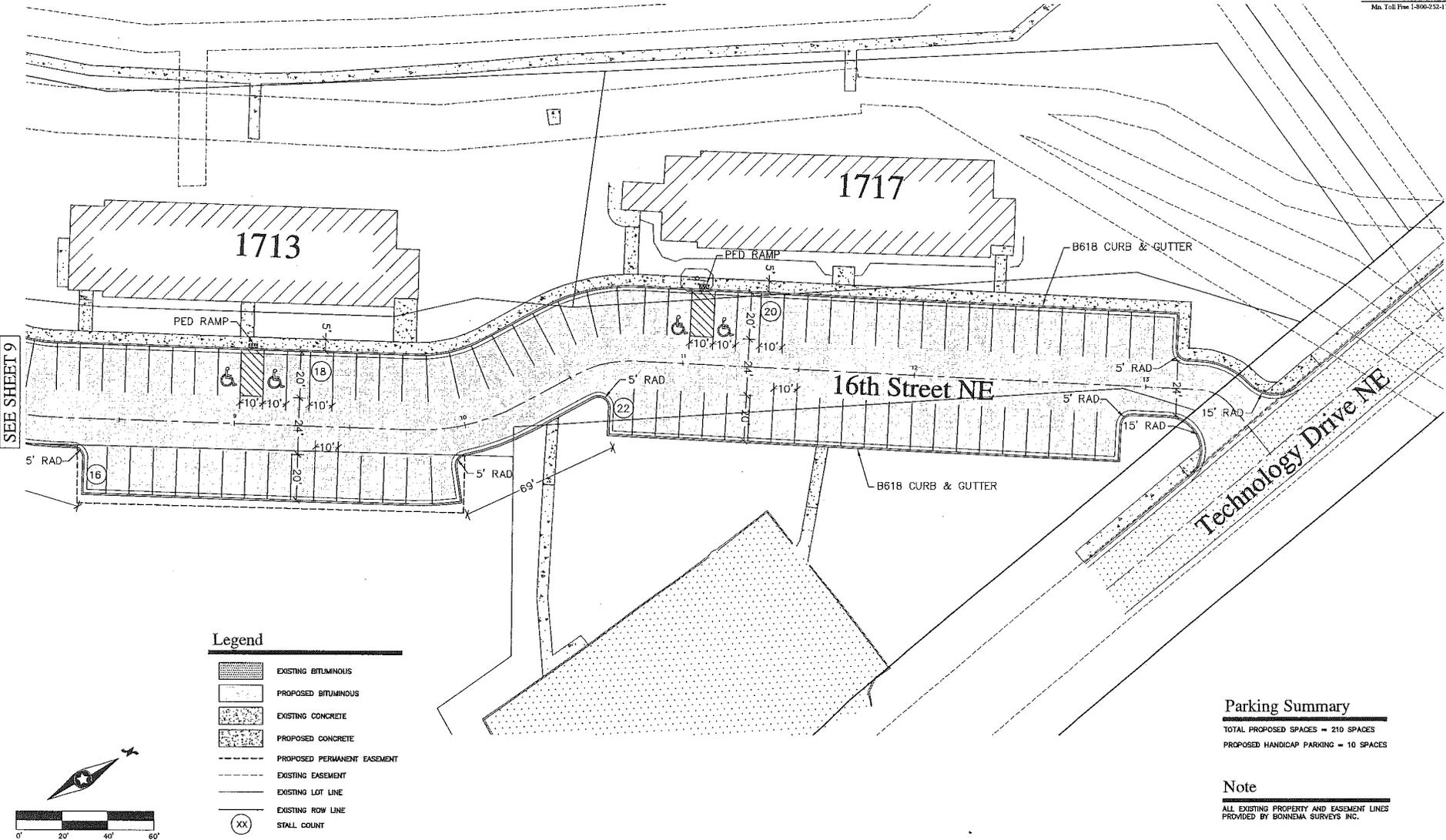
Revisions:

No.	Date	Revision	Sheets

Prepared for:
MinnWest Technology Campus
1700 Technology Drive NE Suite 101
Willmar, MN 56201
Phone: 320.222.9770

16th Street NE Parking
Willmar, MN

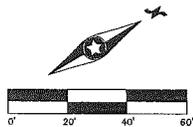
Site Plan
Date: 9/24/2014 Sheet: 3 of 4



SEE SHEET 9

Legend

- EXISTING BITUMINOUS
- PROPOSED BITUMINOUS
- EXISTING CONCRETE
- PROPOSED CONCRETE
- PROPOSED PERMANENT EASEMENT
- EXISTING EASEMENT
- EXISTING LOT LINE
- EXISTING ROW LINE
- STALL COUNT



Project Number: 133017

Parking Summary

TOTAL PROPOSED SPACES = 210 SPACES
PROPOSED HANDICAP PARKING = 10 SPACES

Note

ALL EXISTING PROPERTY AND EASEMENT LINES PROVIDED BY BONNEMA SURVEYS INC.

BOLLIGinc
engineering & environmental
Willmar, Minnesota
PH: 320.235.2555 Email: contact@bollig-engineering.com
www.bollig-engineering.com

Surveyed:	KYD
Designed:	SAK
Drawn:	JAH
Checked:	ARN

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
Andrew R. Nelson
Andrew R. Nelson
LIC. NO.: 43822 DATE: 9/24/2014

Revisions:			
No.	Date	Revision	Sheets

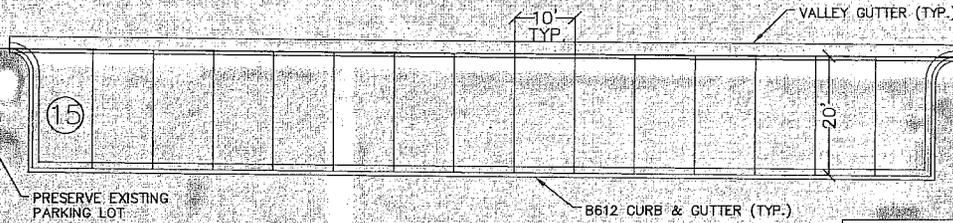
Prepared for:
MinnWest Technology Campus
1700 Technology Drive NE Suite 101
Willmar, MN 56201
Phone: 320.222.9770

16th Street NE Parking
Willmar, MN

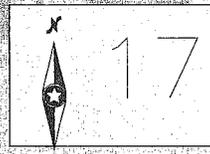
Site Plan
Date: 9/24/2014 Sheet: 4 of 4

1706

Biotech Avenue NE



1708



Project Number: 143007

BOLLIGinc
 engineering & environmental
 Willmar, Minnesota
 PH: 320.235.2555 Email: contact@bollig-engineering.com
 www.bollig-engineering.com

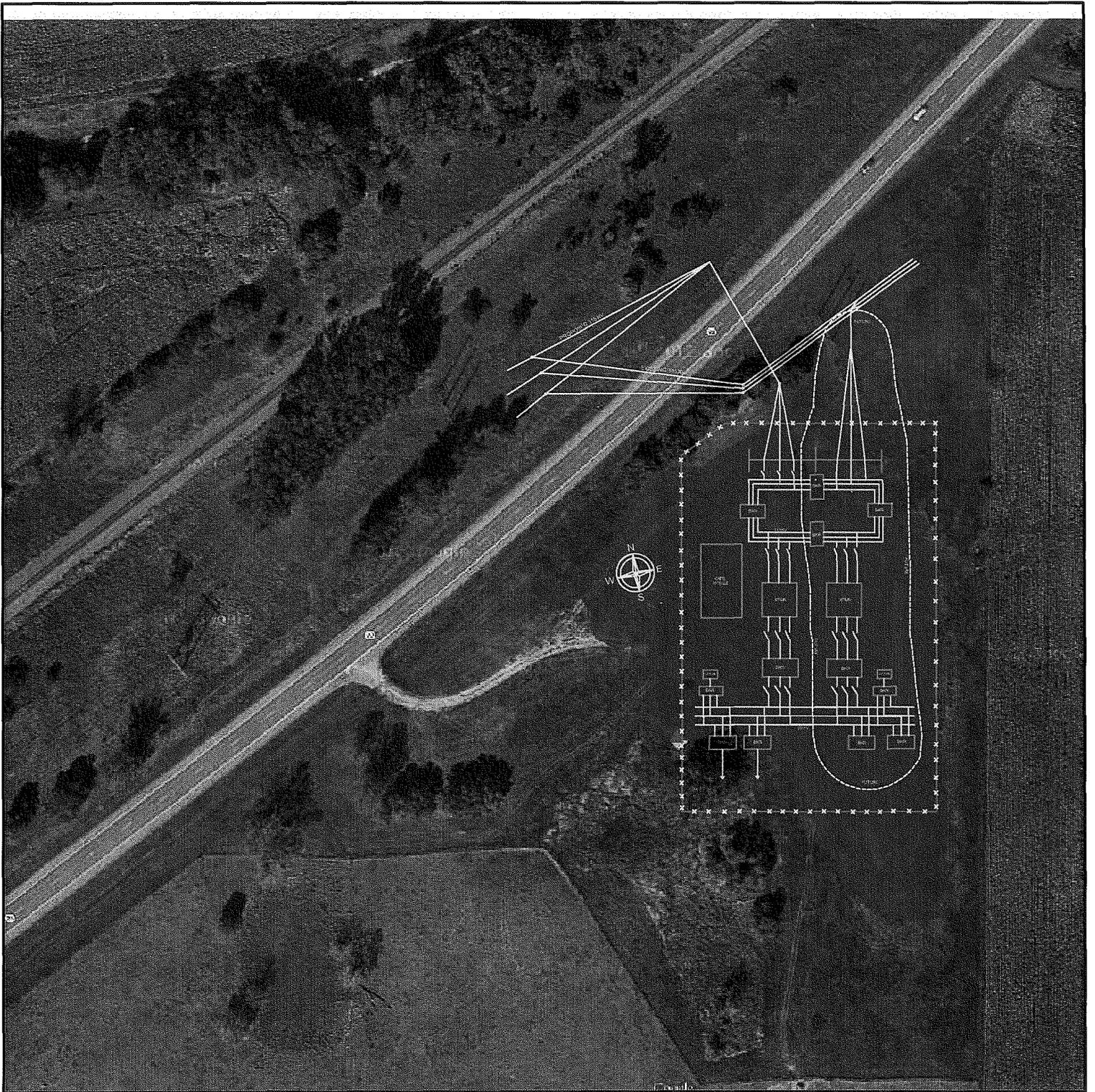
Surveyed:	-
Designed:	-
Drawn:	NIF
Checked:	-

Prepared for:
 MinnWest Technology Campus
 1700 Technology Dr NE Suite 101
 Willmar, MN 56201
 Phone: 320.222.9770

MinnWest Technology
 Campus
 Willmar, MN

Greenhouse Parking
 Lot Exhibit

Date: 8/26/2014 Sheet: 1 of 1



9/29/14

-PARCEL INQUIRY-

INQ010 11/24/09
2014 PAY 2015

TAXP # 90214
EARL B OLSON FARMS, INC
1 HORMEL PLACE - TAX DEPT
AUSTIN MN 55912

PARCEL # 31-036-0080

TWP/CITY	SCHOOL	DEBT	WATR	SEWR	AGRI
31	2180				

DESCRIPTION	ACRES	
SECT-36 TWP-119 RANG-36 ALL THAT PART OF NE1/4 OF SW1/4 LYING SE'LY OF TH #23	11.88	

PROPERTY ADDRESS
7031 HWY 23 SW

IMPROVEMENTS EXIST

ENTER PARCEL#/YEAR 31 - / 2014
F1-RETURN F2-INQ F3-EOJ F6-NEXT PRCL F8-NEW YR F12-PRV SCRN F18-PRV PRCL

9/29/14

-PARCEL INQUIRY-

INQ010 11/24/09
2014 PAY 2015

TAXP # 90214
EARL B OLSON FARMS, INC
1 HORMEL PLACE - TAX DEPT
AUSTIN MN 55912

PARCEL # 31-036-0090

TWP/CITY	SCHOOL	DEBT	WATR	SEWR	AGRI
31	2180				

DESCRIPTION	ACRES	
SECT-36 TWP-119 RANG-36		35.94
SE1/4 OF SW1/4 EXC ROW		

ENTER PARCEL#/YEAR 31 - / 2014
 F1-RETURN F2-INQ F3-EOJ F6-NEXT PRCL F8-NEW YR F12-PRV SCRN F18-PRV PRCL

